

Subdivision Regulations Update



- 
- Created in 1984
 - No major updates since
 - Multiple attempts to update in 2004 & 2007
 - Start/stop major update since 2012

Articles 1 & 2

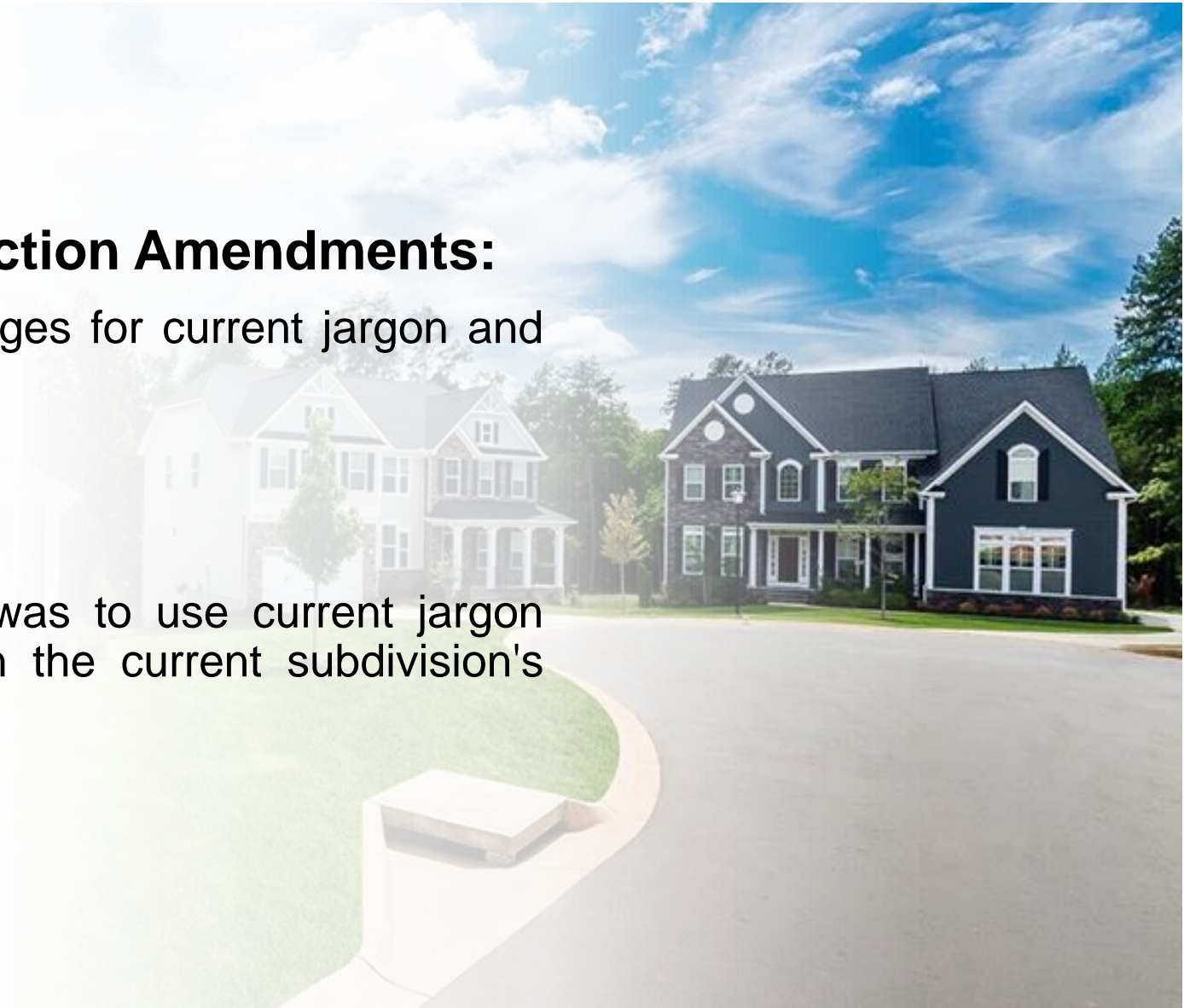


- **Article 1 Title, Scope, and Jurisdiction Amendments:**

- Minor grammatical changes and changes for current jargon and code citations

- **Article 2 Definitions:**

- Significant changes: None, purpose was to use current jargon and clarify pre-existing gray areas in the current subdivision's regulations in the code.



Article 3: Procedures for Subdivision Approval

- **Section 301:**

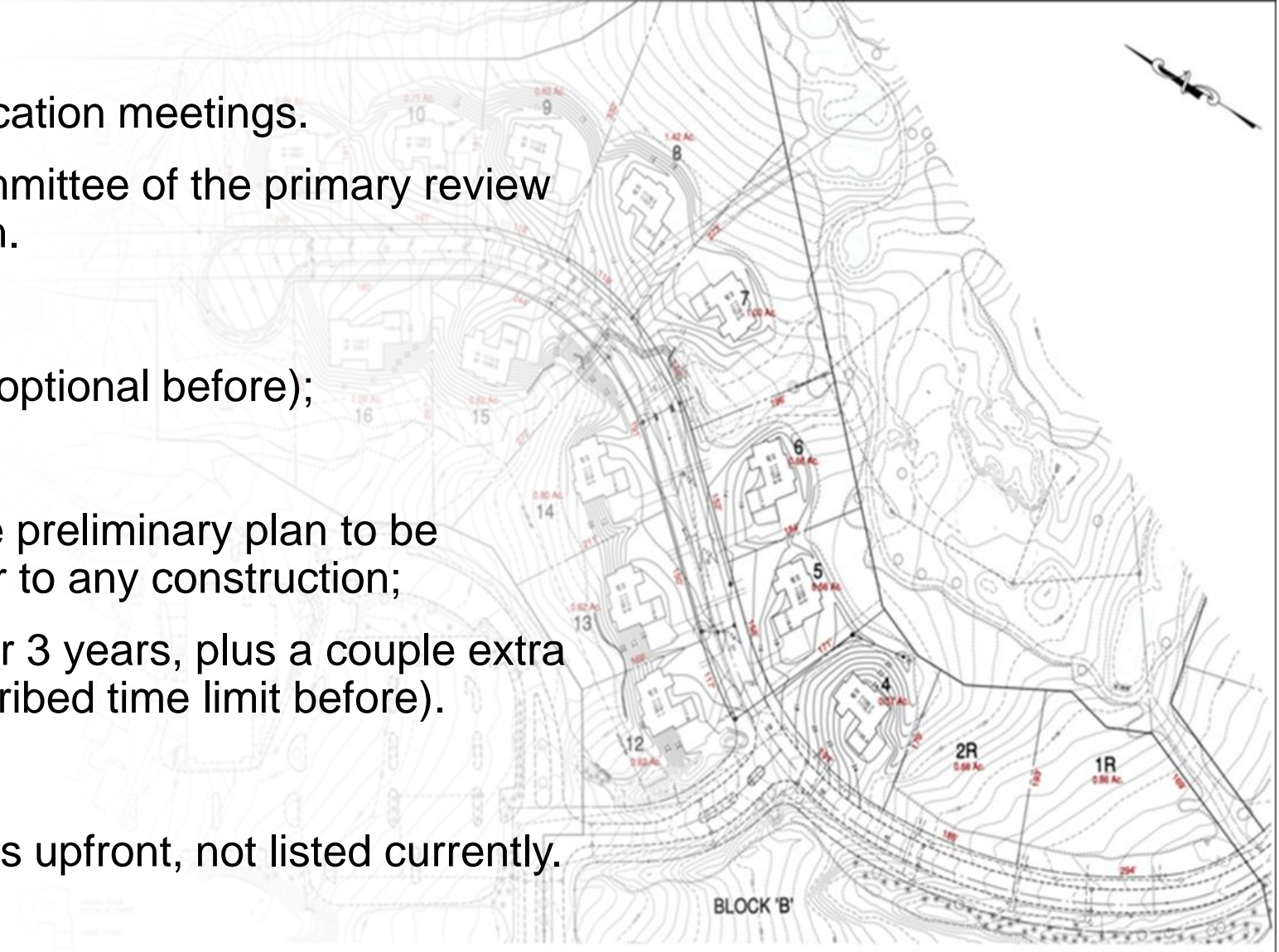
- Strongly encourage pre-application meetings.
- Creates a pre-application committee of the primary review agencies and local jurisdiction.

- **Section 302:**

- Requires a Preliminary Plan (optional before);
- Expands list of reviewers;
- Requires the conditions of the preliminary plan to be completed and approved prior to any construction;
- Preliminary Plans are good for 3 years, plus a couple extra years for extensions (no described time limit before).

- **Section 303:**

- Includes phasing requirements upfront, not listed currently.



Article 3: Procedures for Subdivision Approval

- **Section 305: Surveys and Easements**

- Require easements to be clearly marked;
- Open space statement on the plat (open space is for the whole development);
- Covenants and restrictions to be recorded with the plat.

- **Section 306**

- Plat extensions up to 12 months

- **Sections 309 and 310**

- Five (5) acres or greater and exchanges between owners
- Replaced language to be more consistent with the Ohio Revised Code



Article 4: Open Space Requirements



- **Section 408.1**

- Enhance open space requirements on smaller lot subdivisions, affects subdivision lots less than an acre. (Subdivisions less than 20 acres are exempted from requiring open space).

- **Section 408.3**

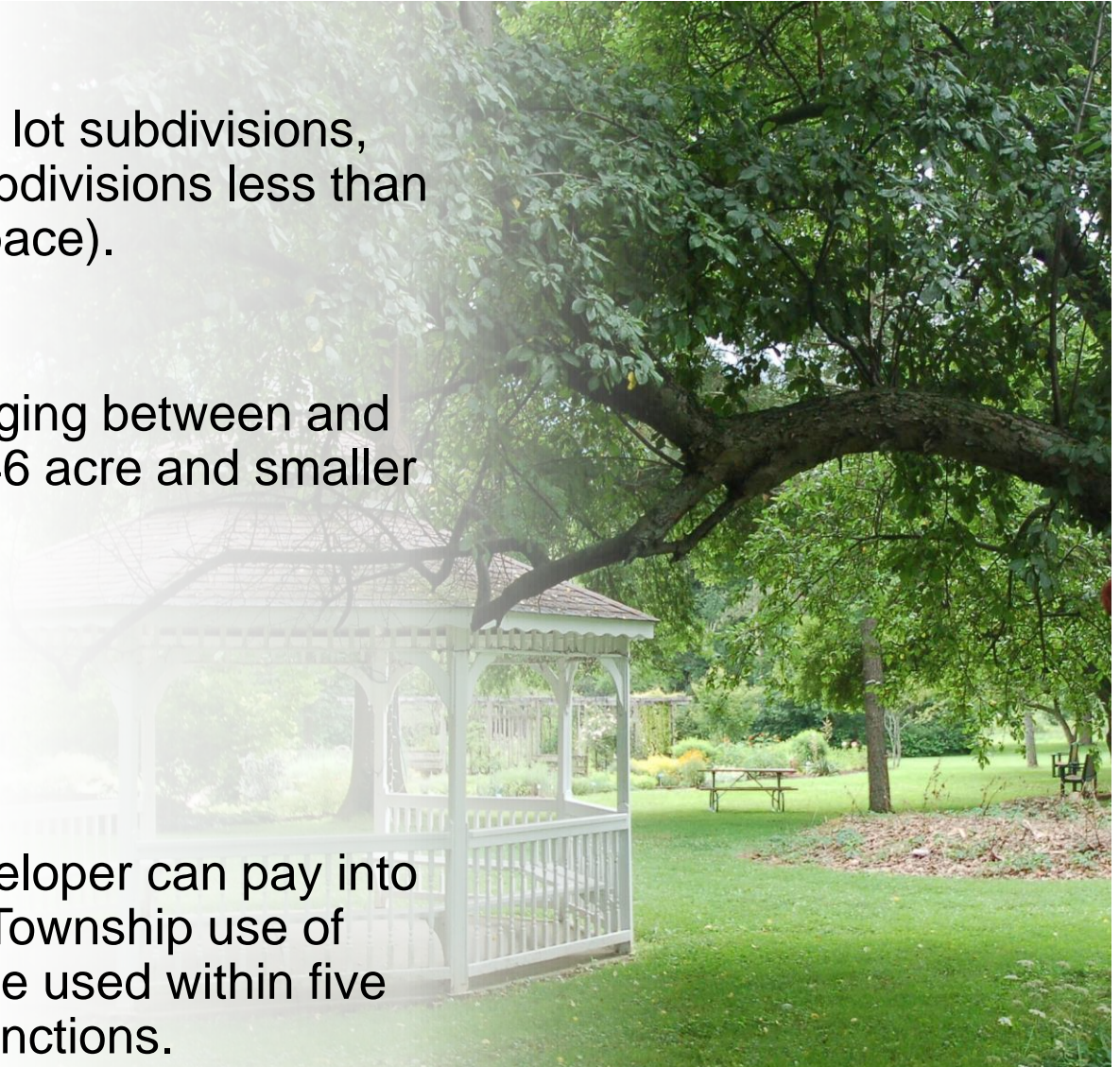
- Sliding scale open requirements for lots averaging between and acre and .46 of an acre 7% open space and .46 acre and smaller lots would be 10% open space.

- **Section 408.4**

- Set minimum standards for open space.

- **Section 408.5**

- Provides a fee in-lieu of option, where the developer can pay into an open space fund designated for the home Township use of providing new recreation opportunities. Must be used within five years. Funds must be used for Open Space functions.



Ohio Department of Health Sewage Treatment System Statutes & Regulations



- Ohio Revised Code (ORC) 3718
- Ohio Administrative Code (OAC) Ohio Department of Health Sewage Treatment System
 - <http://codes.ohio.gov/oac/3701-29>
 - Major update effective January 2015
 - Incorporates best available technology in sewage treatment system designs
 - Requires all new construction to have on-lot soil-based sewage treatment
- Minor change to Technical Advisory Committee equipment approval schedule effective September 2019
 - Does not affect the subdivision rules



OAC 3701-29-08 New Lots and Subdivisions



- (A) The board of health review required in paragraph (C) of this rule shall be coordinated, as applicable, with authorities having responsibility for the requirements established in Chapter 711 of the Revised Code, zoning, recording of parcels of land, or other land use authorities....
- (B) Any person proposing a subdivision or new lot(s) for review by the board of health shall submit an application and sufficient information to determine compliance with the requirements of this chapter
- <http://codes.ohio.gov/oac/3701-29-08>



Portage County Health District Clarifications



- **Section 303 Preliminary Plan Information**

- Define both private water supply and public water supply

- **Section 305 Plat Contents**

- Add the revised code and administrative code references to make it easier for the developer to locate the requirements

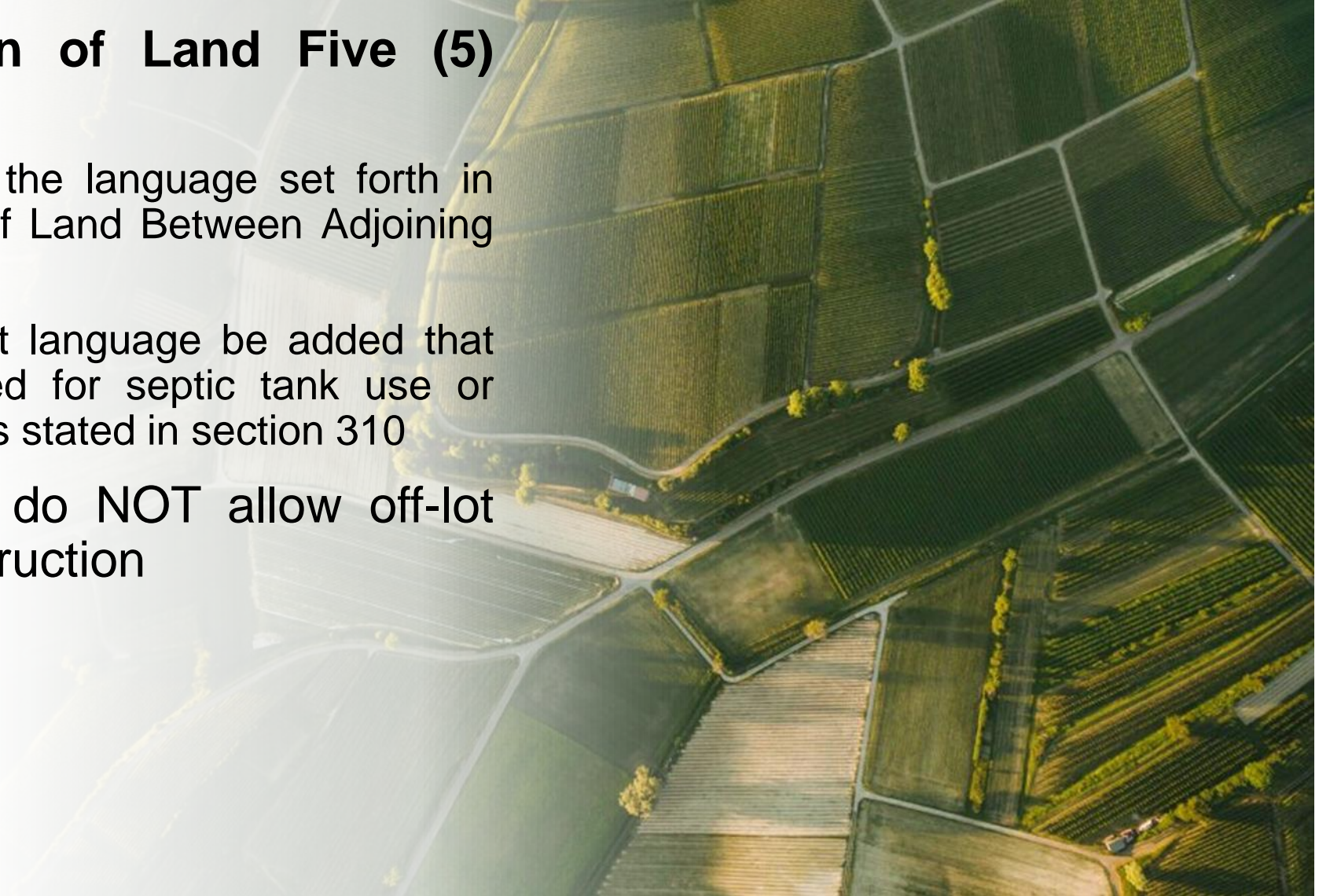


Portage County Health District Clarifications



- **Sections 309 Division of Land Five (5) Acres and Larger**

- Recommend reiterating the language set forth in Section 310 Transfers of Land Between Adjoining Property Owners
 - However, if not, that language be added that states, “not reviewed for septic tank use or replacement area” as stated in section 310
- **Reminder:** regulations do NOT allow off-lot discharge for new construction



Portage County Health District Clarifications



- **Section 405 Layout of Lots and Section 604 Water Supply**

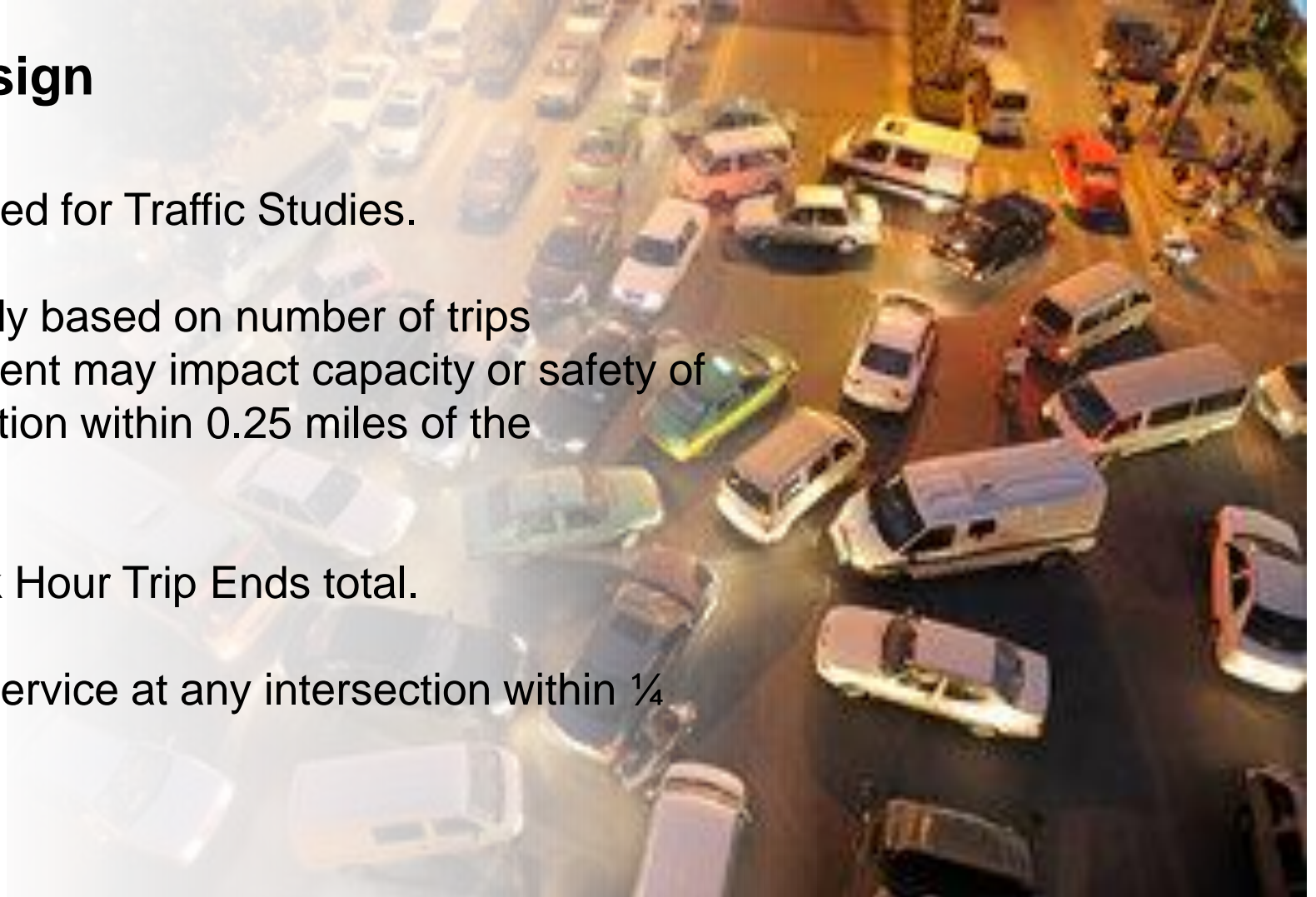
- Added the revised code and administrative code references
- Specified the private water system isolation distances in accordance with OAC 3701-28





- **402 Road and Street Design**

- Now spells out what is required for Traffic Studies.
- Defined the need for the study based on number of trips generated or if the development may impact capacity or safety of any road and/or any intersection within 0.25 miles of the development.
 - One hundred (100) Peak Hour Trip Ends total.
 - No reduction in level of service at any intersection within $\frac{1}{4}$ mile of the development.





- **402.1 Dead End Streets**

- Established parameters for Permanent and Temporary dead-end streets.
- Requires termination of a permanent dead-end street to be a cul-de-sac. Defines what needs to occur on a temporary dead-end street.

- **402.2 Stub Streets**

- New section.
- Established parameters for stub street to allow t type turnaround to ensure adequate maneuverability on a temporary dead-end street.
- Established parameters for future developers to be responsible to remove turn around and build road to prop line.





- **406.3 Schedule of Building Construction**

- Clarified what utilities need installed prior to construction of buildings.
- Installation of first asphalt layer prior to starting construction of homes.

- **407.2 Drainage Easements**

- Requiring drainage easements to be located within open space.
- Keeping storm sewer systems outside of private lots help with maintenance and ensure no homeowner improvements are placed overtop of the systems; i.e., sheds, fences, etc.





- **509.2 As-built Calculations of Storm Water Pollution Prevention Plan**

- Added requirement to have developer As-built the stormwater management system and verify that the constructed system meets the original design calculations.
- The Stormwater District will ultimately maintain these basins and it needs to be verified that the contractor built it in accordance with the design prior to turning over to the district.





- **511.1 Plan Review Fees**

- New Section.
- Added requirement to have developer be held responsible for the cost of plan review for subdivisions.

- **512.3 Failure to Construct or Complete Improvements**

- Modified the 18-month time frame for construction.
- Now includes review at one (1) year after approval of the final plat, to ensure construction has began
- and then a final deadline of two (2) years. Clarified the options to remedy incomplete subdivisions by utilizing the performance guarantee or the commissioners have the option to vacate the plat.





- **513 HAUL ROAD PERFORMANCE GUARANTEE**

- New requirement.
- Added requirement to hold developer responsible for any damage to previous phase subdivision roadways being used for construction access of the current phase.

- **516.1 Conditional acceptance procedure**

- New Section to clarify the conditional acceptance.
- The steps involved to achieve conditional acceptance have now been written out to eliminate confusion.





- **516.2 Monument Inspection at Conditional Acceptance**

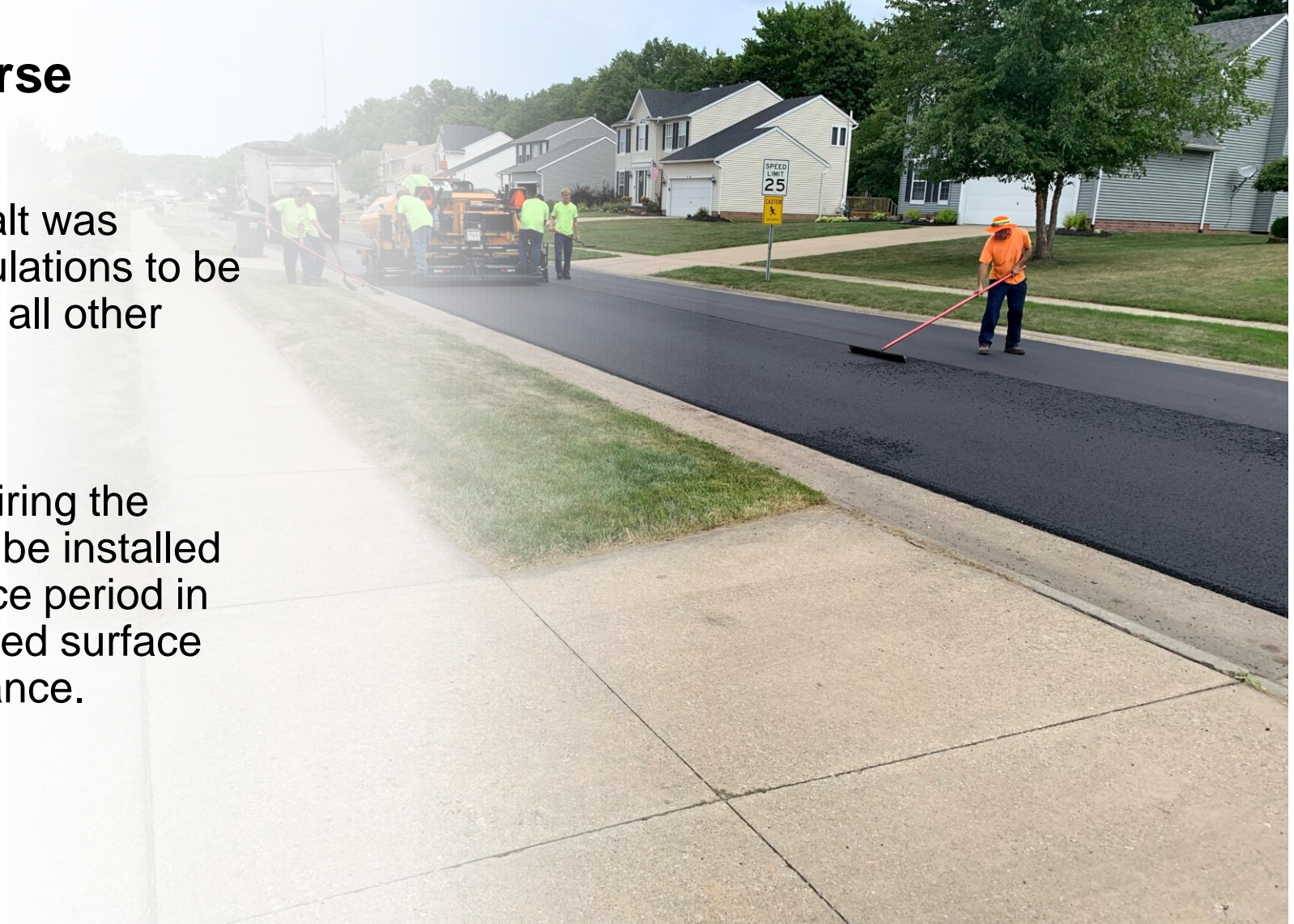
- In order to minimize the disturbance of the subdivision property pins and right of way monuments, this section has been added.
- The surveyor will need to set the minimum state required amount at the time of platting and all the rear pins at time of Conditional Acceptance.
- The surveyor will then set the remaining pins at the end of the maintenance period.





- **518.5 Street Surface Course**

- The surface course of asphalt was referenced in the 1984 Regulations to be installed upon completion of all other items.
- We are revising this by requiring the surface course of asphalt to be installed at the end of the maintenance period in order to turn over a new paved surface to the township for maintenance.





- **519.1 Monument Inspection at Final Acceptance**

- New Section that follows Section 516.2.
- To ensure that any monuments at lot corners and on the right of way that were disturbed or destroyed during construction are in place at the time of Final Acceptance.
- The surveyor will be required to set and mark all remaining right of way pins and property pins that were not verified at time of platting .





- **519.3 Final Inspection**

- Updated the section to explain the final inspection procedures before the Engineer recommends acceptance of the improvements and turns over maintenance to the township.
- The inspection requires compliance with ODOT 611 spec-cleaning and video taping of the storm sewer system.
- The inspection also includes post construction stormwater controls.



Portage County Engineer

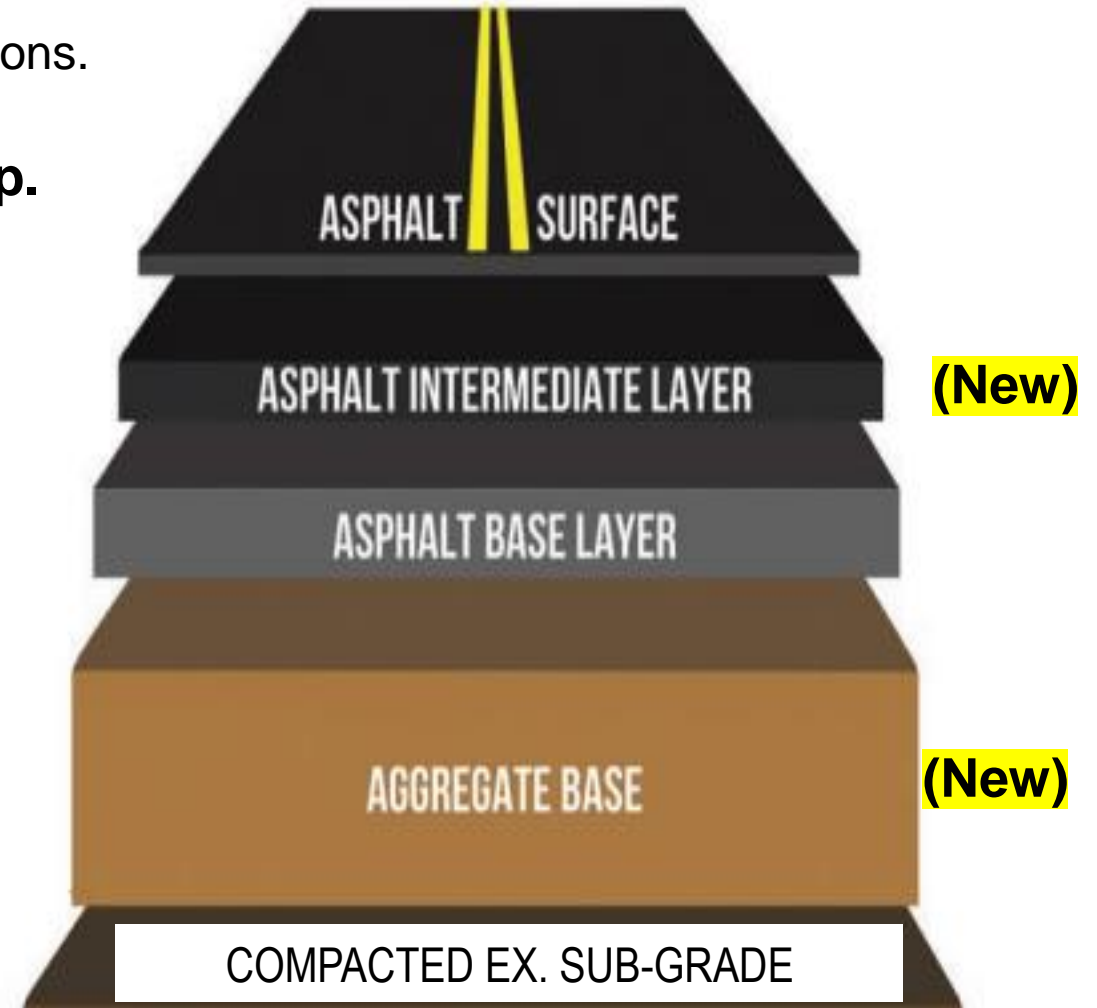


- **521 Minimum Road Pavement Specifications and Road Cross-Sections**

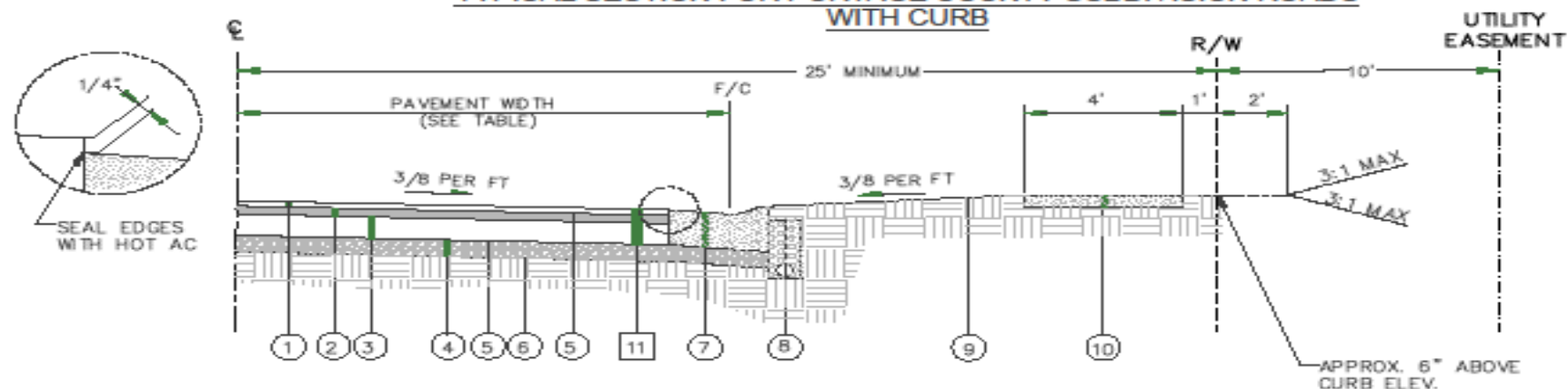
- Updated the Asphalt and Concrete Pavement Specifications.

<u>Asphalt Section</u>	Ex. Typ.	Prop Typ.
Surface	1.25"	1.25"
Intermediate	----	1.75"
Base	6.0"	6.0"
Aggregate Base	----	4.0"

- Added the ability to provide an alternate pavement section utilizing cement stabilization as long as it meets or exceeds the current structural strength of the standard typical section.



TYPICAL SECTION FOR PORTAGE COUNTY SUBDIVISION ROADS WITH CURB



PROPOSED LEGEND

- ① ITEM 441 – ASPHALT CONCRETE SURFACE COURSE
- ② ITEM 441 – ASPHALT CONCRETE INTERMEDIATE COURSE
- ③ ITEM 301 OR 302 – ASPHALT CONCRETE BASE
- ④ ITEM 304 – AGGREGATE BASE
- ⑤ ITEM 407 – TACK COAT
- ⑥ ITEM 204 – SUBGRADE COMPACTION – PROOFROLL – ZERO DEFLECTION
- ⑦ ITEM 609 – TYPE 3 OR TYPE 6 CURB
- ⑧ ITEM 605 – PERFORATED UNDERDRAIN
- ⑨ ITEM 659 – SEEDING AND MULCHING
- ⑩ ITEM 608 – 4" CONCRETE SIDEWALK, 6" AT DRIVEWAYS
- ⑪ ITEM 452 – NON-REINFORCED CONCRETE (*TO BE USED IN LIEU OF SURFACE INTERMEDIATE & BASE COURSE ASPHALTS).

NOTES

1. SURFACE COURSE TO BE INSTALLED AT THE END OF THE MAINTENANCE PERIOD BEFORE FINAL ACCEPTANCE.
2. THE CURRENT SPECIFICATIONS OF THE OHIO DEPARTMENT OF TRANSPORTATION (ODOT), FOR CONSTRUCTION AND MATERIALS, INCLUDING SUPPLEMENTAL SPECIFICATIONS, AND THE PORTAGE COUNTY TYPICAL SECTIONS & SPECIFICATIONS FOR ALLOTMENT ROADS IN EFFECT AT ALL TIME OF APPROVAL OF THE PLAT AND IMPROVEMENT PLANS SHALL GOVERN ALL CONSTRUCTION.

RESIDENTIAL OR COMMERCIAL/INDUSTRIAL TYPICAL SECTION WITH CURB

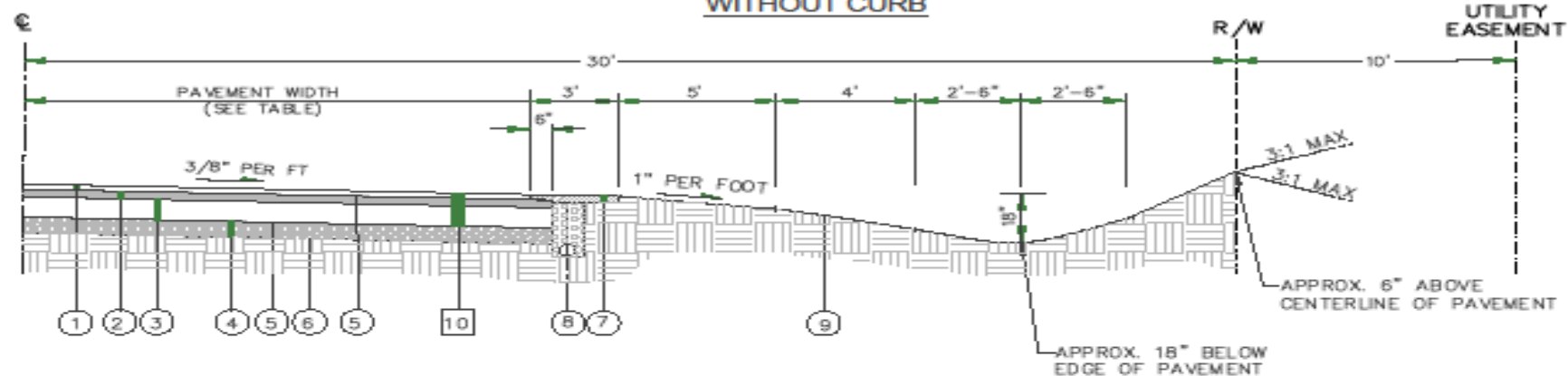
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Date: 2/19/2021

Drawn: T.J.G.

Reviewed: L.D.J.

TYPICAL SECTION FOR PORTAGE COUNTY SUBDIVISION ROADS WITHOUT CURB



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- ⑤ ITEM 407 – TACK COAT
- ⑥ ITEM 204 – SUBGRADE COMPACTION – PROOFROLL – ZERO DEFLECTION
- ⑦ ITEM 617 – RAP W/PRIME COAT, 2 FOOT WIDE, THICKNESS VARIABLE
- ⑧ ITEM 605 – PERFORATED UNDERDRAIN
- ⑨ ITEM 659 – SEEDING AND MULCHING
- ⑩ ITEM 452 – NON-REINFORCED CONCRETE (*TO BE USED IN LIEU OF SURFACE INTERMEDIATE & BASE COURSE ASPHALTS.)

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Scale: N.T.S.

Date: 2/19/2021

Drawn: T.J.G.

Reviewed: LDU

SECTION 520.1 MINIMUM ROADWAY SPECIFICATIONS FOR SUBDIVISIONS

ROAD CLASSIFICATION	PAVEMENT WIDTH		PAVEMENT THICKNESS							
	CURBS	OPEN DITCH NO CURBS	NON-REINFORCED CONCRETE		FULL-DEPTH ASPHALT				AGGREGATE	
			206* CHEMICALLY STABILIZED SUBGRADE (MINIMUM)	452 CONCRETE PAVEMENT	206* CHEMICALLY STABILIZED SUBGRADE (MINIMUM)	301 or 302 ASPHALT CONCRETE BASE	448 ASPHALT CONCRETE INTERMEDIATE COURSE TYPE 2	448 ASPHALT CONCRETE SURFACE COURSE TYPE 1	BASE	SHOULDERS
									304	
	(FEET)	(FEET)	(INCHES)	(INCHES)	(INCHES)	(INCHES)	(INCHES)	(INCHES)	(INCHES)	
RESIDENTIAL, CURBS	26		0	0	0	6	1.75	1.25	4	TURF
RESIDENTIAL, NO CURBS		22	0	0	0	6	1.75	1.25	4	617 RAP
COMMERCIAL / INDUSTRIAL, CURBS	30		0	0	0	7	2.5	1.50	6	TURF
COMMERCIAL / INDUSTRIAL, NO CURBS		28	0	0	0	7	2.5	1.50	6	617 RAP

AN ALTERNATE PAVEMENT SECTION, INCORPORATING THE USE OF CHEMICALLY STABILIZED SUBGRADE, MAY BE SUBMITTED TO THE COUNTY ENGINEER TO REVIEW FOR USE ON A PROJECT. SUCH ALTERNATE DESIGNS SHALL HAVE A STRUCTURAL NUMBER NO LESS THAN THE ABOVE MINIMUM PAVEMENT SECTION AS CALCULATED PER THE ODOT PAVEMENT DESIGN MANUAL.

COMMERCIAL AND INDUSTRIAL PARK ROADS ARE ROADS IN SUBDIVISIONS HAVING COMMERCIAL AND/OR INDUSTRIAL ENTERPRISES SERVED BY TRUCKS.

IN CASE OF QUESTION, THE COUNTY ENGINEER WILL DECIDE ON THE ROAD CLASSIFICATION FOR CONSTRUCTION PURPOSES.

COMMERCIAL/INDUSTRIAL - ODOT TYPE 2 OR 6 ONLY. ALL CURB CUTS MUST BE FORMED AT TIME OF CURB PLACEMENT OR SAWED.

MINIMUM ROADWAY SPECIFICATIONS FOR SUBDIVISIONS

Scale: N.T.S.

Date: 2/19/2021

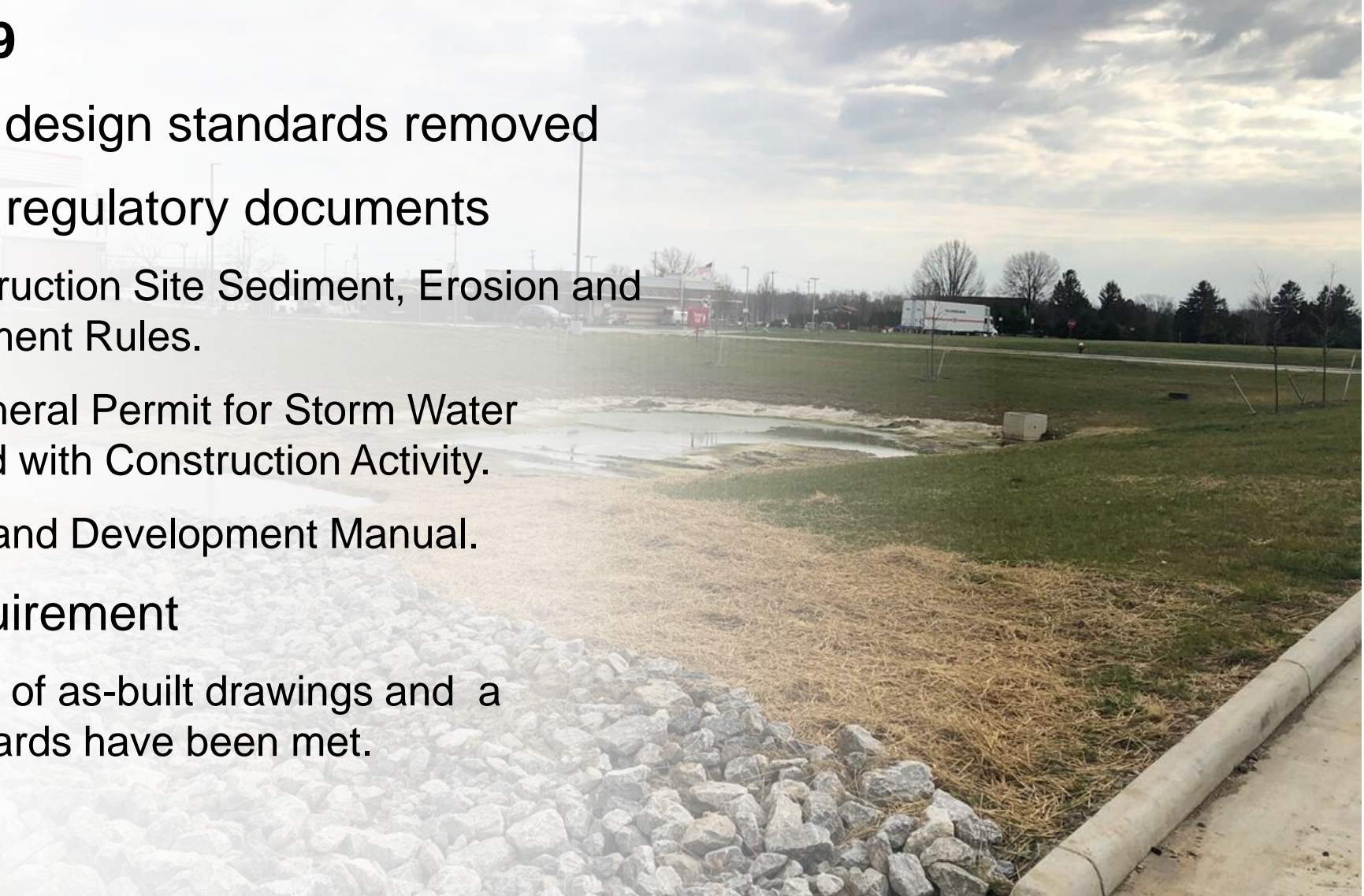
Drawn: TJG

Reviewed: LDJ

Storm Water Amendments



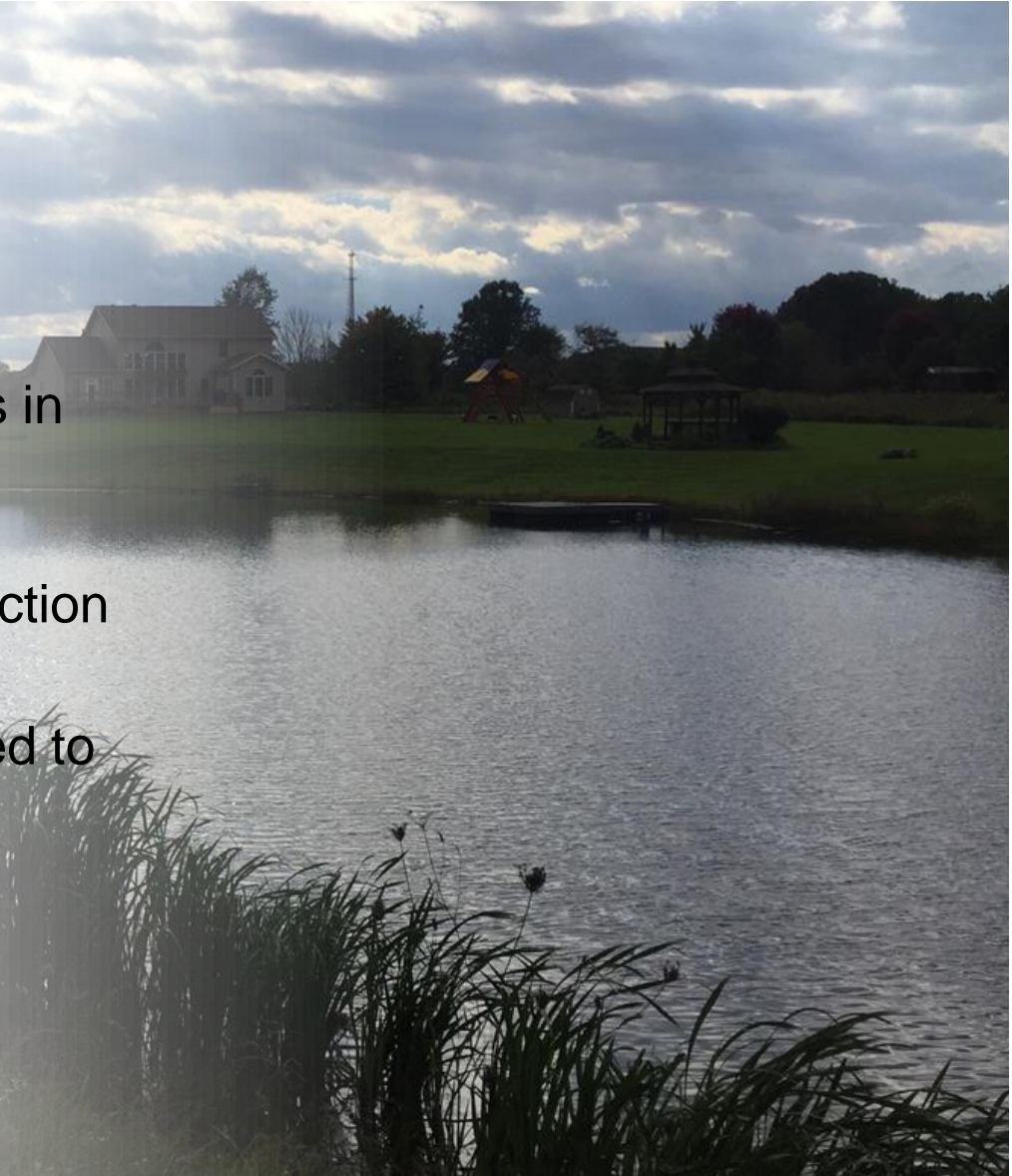
- **Primarily Section 509**
- Outdated storm water design standards removed
- Defined three primary regulatory documents
 - Portage County Construction Site Sediment, Erosion and Storm Water Management Rules.
 - Ohio EPA NPDES General Permit for Storm Water Discharges Associated with Construction Activity.
 - Ohio Rainwater and Land Development Manual.
- As-Built drawings requirement
 - Requires the submittal of as-built drawings and a certification that standards have been met.



Storm Water Amendments



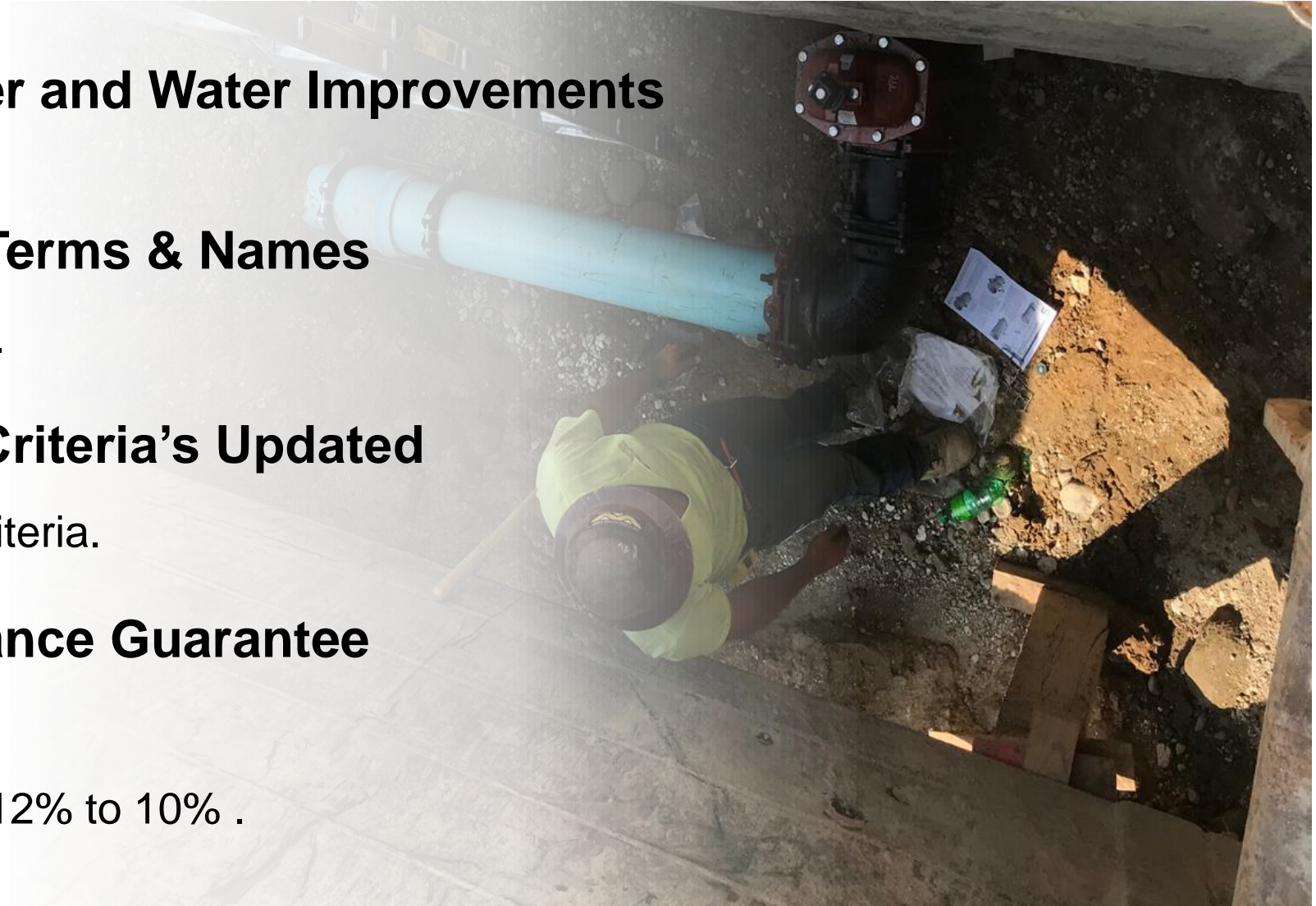
- Wetland impacts procedure defined
 - Individual permit vs Nationwide permit.
- Residential Storm Water Maintenance Program
 - Post-construction Best Management Practices (BMP)s in new residential subdivisions will be maintained by the Storm Water District.
 - Long-term maintenance plan required for post-construction BMPs.
 - Runoff from all new impervious area must be conveyed to post-construction BMPs and directed to centralized conveyance systems when possible.



Water Resources: Sections 600-612



- **Article 6 Specific to Sewer and Water Improvements**
 - Streamline the Document.
- **Standardized Acronyms, Terms & Names**
 - Reduce Confusion For Users.
- **Sewer and Water Design Criteria's Updated**
 - Match Department Design Criteria.
- **Escrow Account Performance Guarantee**
 - Ensure Project Completion.
 - Reduced Contingency From 12% to 10% .



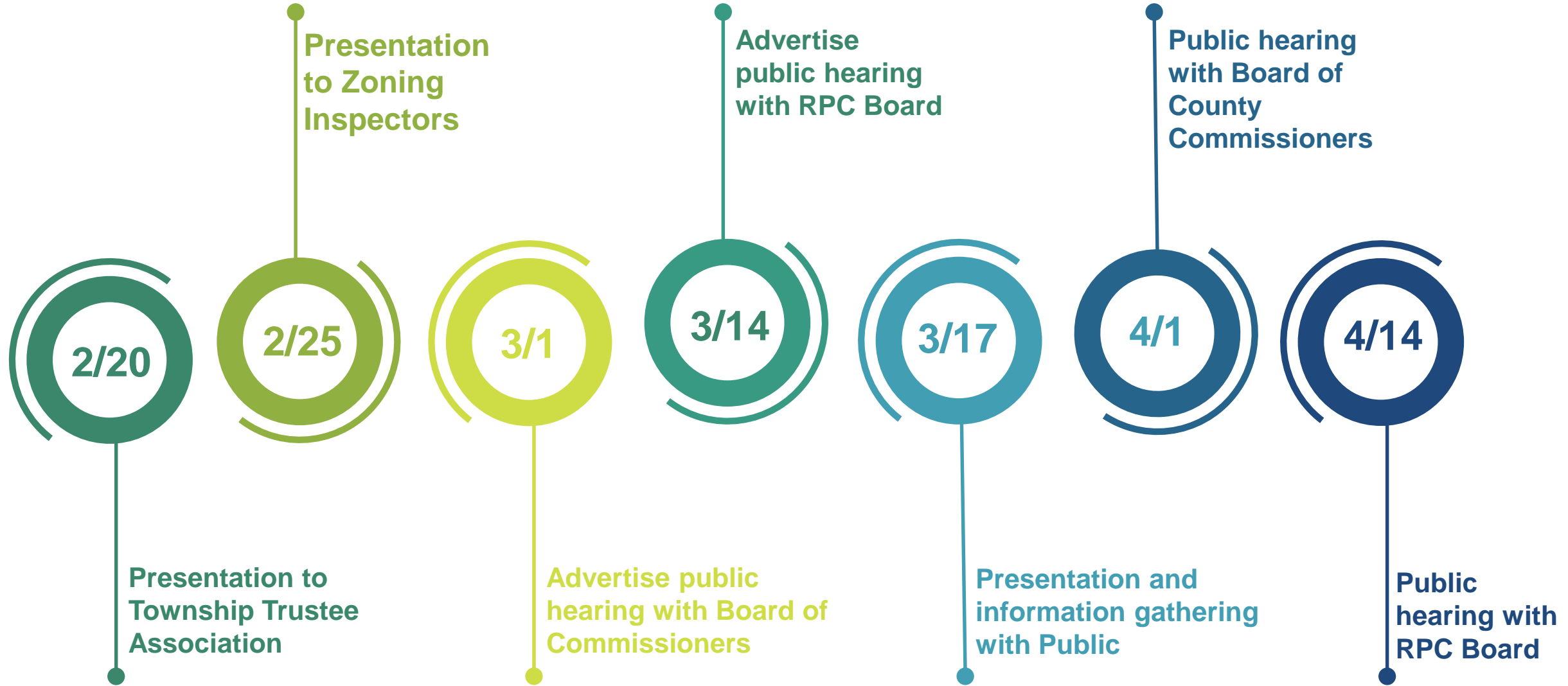
Water Resources: Sections 600-612



- **Increased Maintenance Guarantee From 5% to 10%.**
 - Ensure Adequate Funds are Available to County.
- **Added Ability to Extend Maintenance Guarantee Period Beyond One Year and/or Percentage.**
 - Site Conditions, Construction Methods or Materials Used May Justify Increases.
- **Increased Liability Insurance Limits.**
 - Match Current County Limits.



Timeline



Questions and Comments



THANK YOU

